

EAST HAVEN

GRANDE PRAIRIE

COMMUNITY STANDARDS AND DESIGN GUIDELINES

March 2023

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INTRODUCTION

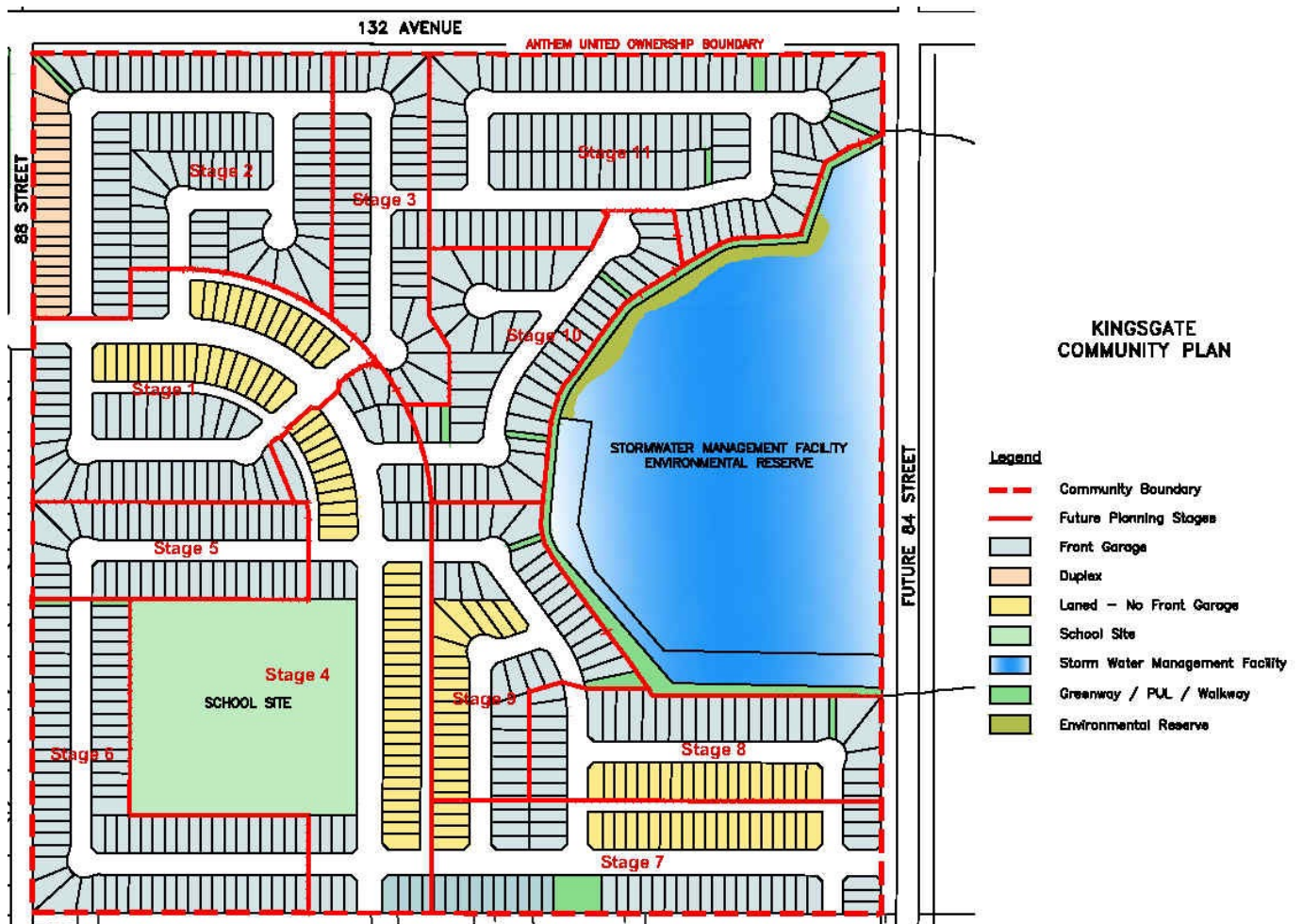
EASTHAVEN

This document outlines the opportunities and limitations associated with this development, and provide a set of guidelines, which at the initial design/construction phase of the homes will direct homebuyers, designers and builders toward an aesthetically pleasing development with complementary building forms throughout.

Emphasis will be concentrated on trying to create curb appeal to each home through attention to detail. In addition, the landscape requirements will form a strong compliment to the neighbourhood.

Anthem may, from time to time in its sole discretion acting reasonably or as required by any governmental authority, change, vary or modify these Community Design Guidelines.

AREA MAP



The front and rear landscaping on each lot shall be completed within the first growing season of the homeowner taking possession of the home. During this time the homeowner is required to ensure that the lot remains free of weeds and debris in accordance with city bylaws.

Front yard landscaping is required to consist of the following minimum requirements:

- One tree
- Four shrubs or four low-lying plants in a prepared planting bed with edging. A hardscaped front yard will require six shrubs or six low lying plants.
- See Appendix A for list of recommended trees & shrubs.
- The remaining landscaping must consist of other finishing material listed below.

Rear yard landscaping must include materials from the approved finishing material listed below and one tree.

Other Approved Finishing Materials:

- Sod
- Mulch aggregates and wood bark
- Washed rock
- Decorative rock; limestone, red-shale, granite etc...
- Lava rock
- Natural stones
- Edging

Landscape plans to be reviewed and approved by Anthem. Hand sketched submissions are acceptable.

City boulevard trees don't count towards landscaping requirements.

As per City by-laws homeowners are required to maintain City boulevard grass and clear sidewalks of snow and debris adjacent to their property. Tree maintenance is the responsibility of the city. Concerns should be addressed to 311 or 780-538-0300.

LOT GRADING

Refer to municipal bylaw process and requirements, engineering plans and plot plans.

RETAINING WALLS

All retaining walls will be constructed by the home owner, and must meet the requirements set out in the City of Grand Prairie Land Use Bylaw and are to be constructed out of the following materials:

- Landscaping Block (Alan block)
- Poured concrete with parging
- Pressure treated wood
- Natural Stone

FENCING REQUIREMENTS

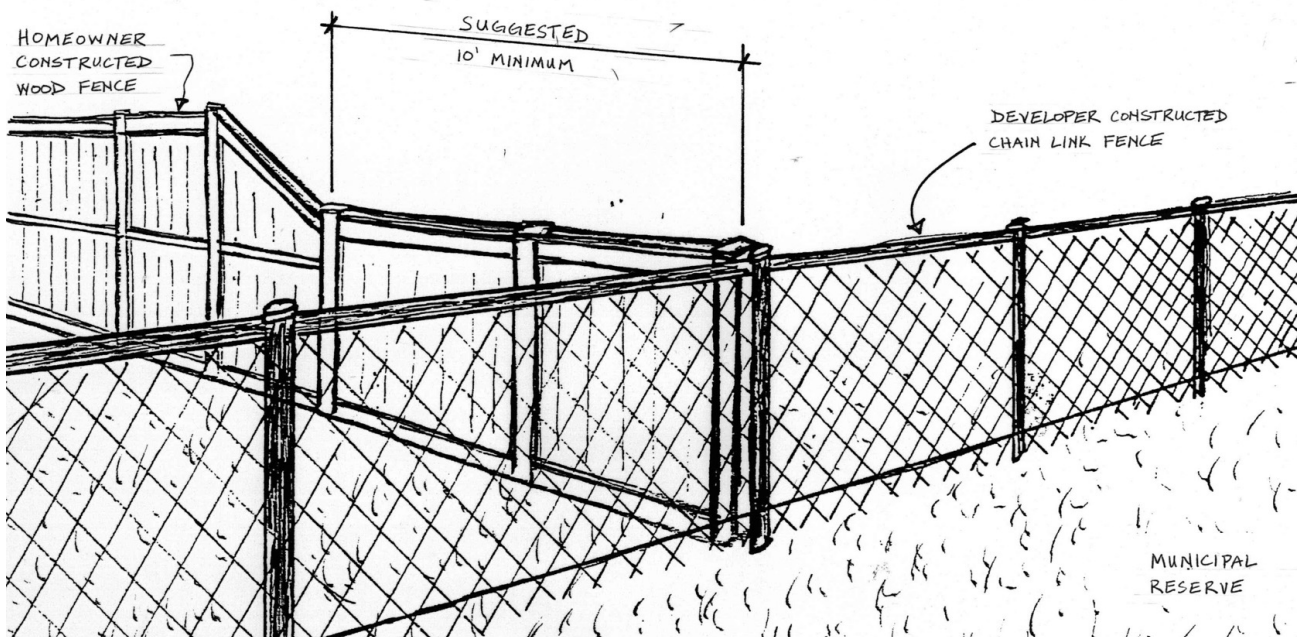
Anthem will be providing a 4ft. black chain-link fence on all lots backing onto greenspace.

All homeowner constructed fence types are to be consistent in design and colour with the fencing style established in the subdivision. See Appendix B for details including colour and design. Maximum height for side property line fencing is 6'; however please review all City of Grand Prairie by-laws to ensure compliance with all municipal regulations.

Anthem strongly encourages all shared property line fencing be agreed upon by all parties involved prior to construction. Anthem will not mediate any fencing disputes that may arise between homeowners.

The builder and owner of the lot/home should review the title of the lot for any encumbrances on the lot regarding fencing.

All developer installed fencing is installed within the private property. This is especially important to consider on side yards containing such fences, when the building is situated with minimal setback from the property line. Depending on the type and size of fence, this could result in narrower distance between the house and fence than originally anticipated. Ownership and maintenance of this fence becomes the responsibility of the resident.



In all cases where a homeowner constructed fence abuts to a developer constructed fence, the homeowner constructed fence height is to match that of the developer fence within 10'. For example, if the lot backs onto a green space where the developer has installed a 4' high black chain link fence, then the side yard fence height is to match the developer constructed rear property line fence within 10' of the rear fence. This may require a step up/down or angle depending on the heights. (See detailed drawing).

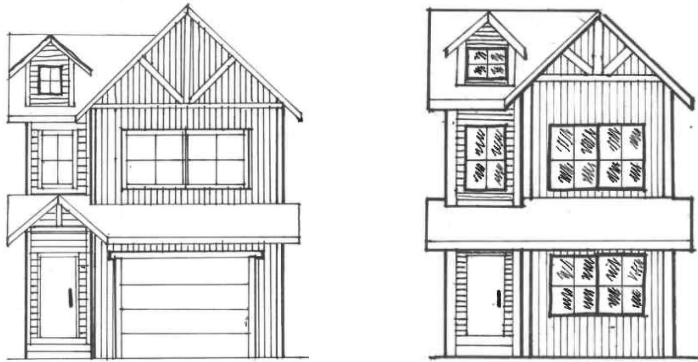
NO fences may be constructed on either side of a developer-constructed fence.

ARCHITECTURAL STYLES

The guidelines both encourage and enforce diversity by giving the option to choose from a variety of architectural styles. This will ensure eclectic exterior facades, contrary colours and contrasting exterior finishes as part of each streetscape. Examples of other architectural styles may be considered with all plans being reviewed on a house-by-house basis and approved at the sole discretion of Anthem.

MODERN FARMHOUSE

Modern farmhouse architecture is not simply defined by the way the old farmhouses were, but they do seek to capture that homey, family-centred and folksy aesthetic.



Identifying Features:

- Side gable, Cross gables, and gables atop a hip roof
- Large covered porch at the front of the house
- Gable ends with 8:12 pitched roofs
- Soffits and porch columns can be simple or highly detailed
- Board and Batten siding
- Black window frames
- Standard seam metal roofing



ARTS & CRAFTS

The Arts & Crafts style use strong colours that were based on medieval designs. The style was simple in form, without excessive decoration and expressed the quality of the materials used that resulted in a rustic effect.



Identifying Features:

- 8:12 pitched roofs
- Predominately gable rooflines
- Multiple types of gable treatment
- Masonry



ARCHITECTURAL STYLES

PRAIRIE

Prairie style homes are an architectural style that was developed by a creative group of architects led by Frank Lloyd Wright and known as the “Prairie School”. Prairie style homes have strong lineal lines with low angled roof pitches.



Identifying Features:

- 4:12 pitched hip rooflines
- Simple trim
- Large windows in a symmetrical pattern
- Smooth masonry finish
- Horizontal elements
- Contrasting wall materials



ARCHITECTURAL STYLES

MODERN

Modern architecture is generally characterized by using a simple building form and creating the theme for the structure by using large angled roof lines and the expansive use of glass. Along with the use of traditional and contemporary materials are elements in modern architecture.



Identifying Features:

- Flats or angled rooflines
- Large expansive use of glass
- Use of at least two different materials
- Unusual window configurations
 - Metal Trellis
 - Modern entry door
 - Modern garage door



SEMI DETACHED HOMES

This type of product should be designed with one architectural style in mind, but by using the different rooflines, materials etc to give the look of two different homes.



**When submitting Duplex lots for architectural approval, both sides must be submitted together as a package.*

SINGLE FAMILY LANED PRODUCT

This product will use all architectural design elements listed previously in this document. Homes with full two-storey front façade and/or steep roof pitches may require greater setback from the street to reduce the dominance of this house type on the streetscape.

SINGLE FAMILY FRONT DRIVE PRODUCT

Front drive product includes a two or three car garage as determined by housing type and location in accordance with the garage location plan. All front garages are to be designed to be an integral part of the overall design of the home with regards to style, proportion, detailing and door type. Developed area on the second floor above the garage is encouraged to provide balance to the overall massing of the home.

HIGH VISABILITY LOTS

High visibility locations are defined as lots abutting onto Collector roadways, parks, trails, and other amenity features these lots will require special design consideration. The lots are identified on the marketing maps.

CORNER LOTS AND HIGH VISIBILITY SIDE ELEVATIONS

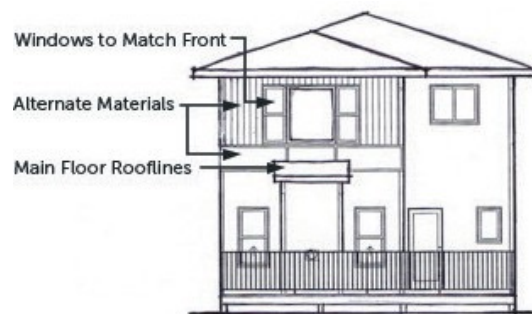
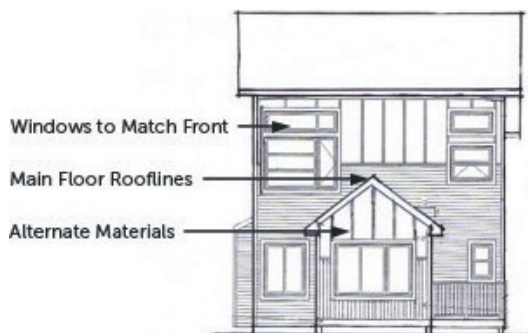
All side elevation must be detailed to convey the selected architectural theme and have the visual impact to compliment the front elevation. This can be accomplished by using various design elements including box-outs, gable treatments, windows, brick or stone. Extra windows c/w muntin bars will be required compared to a home on an interior lot. **ALL CORNER LOTS ON COLLECTOR ROADWAYS WILL REQUIRE REAR WINDOW TRIM.**



REAR ELEVATIONS

All homes backing onto open spaces, linear pathways, roadways, will require architectural detailing and window trim to match the style of the home. Some example but not limited to are shown below.

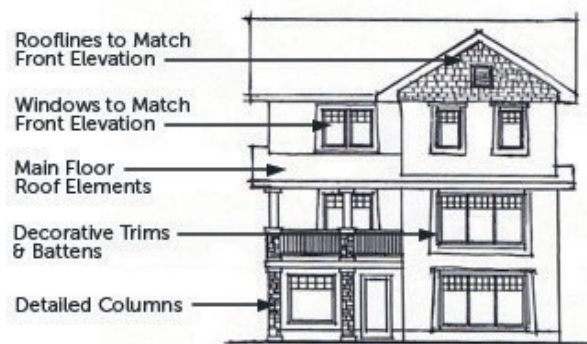
**Additional area specific requirements may apply and implemented on a phases-by-phases basis.*



HIGH VISABILITY LOTS

WALKOUT LOTS

Lots designated for walk-out models backing onto greenspace require special design consideration at the rear elevation. In addition to addressing features as set out for high visibility, these designs must avoid a towering three-storey appearance, and will require roof jogs or box outs and strong deck features.



All walkout lots backing onto greenspace must have the deck completed prior to possession.

MINIMUM HOME SIZES (SQUARE FEET)

	Bungalow	Two Storey
Front Drive Garage Product	1,000	1,600
Landed Access Product	900	1,100
Semi-Detached Product	900	1,100

SETBACKS

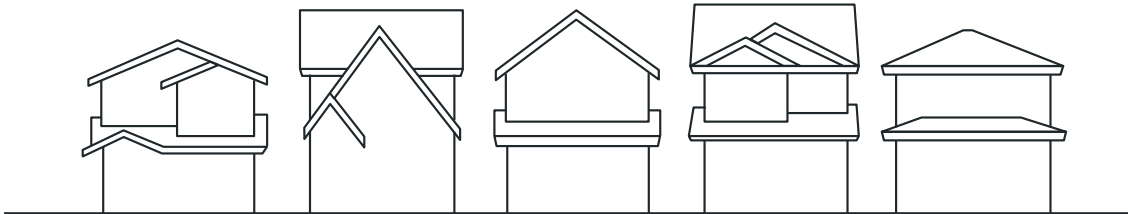
Refer to the City of Grand Prairie Land Use Bylaws for setback requirements. All measurements are taken from the property line to foundation.

The maximum total side yards are not to exceed 12ft.

OVERALL DESIGN REQUIREMENTS

BUILDING MASSING

Architectural massing refers to the concept of arranging the volumes of house in relation to each other.



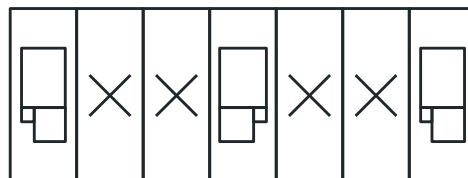
HOUSE ELEVATION REPETITION

Similar houses will be restricted to every third house (two houses in between duplicate house elevations) and two houses across the street. The Architectural Manager will consider all elements of the design when reviewing plans. This may mean, two homes side by side with different architectural styles, may require additional changes in massing, window combinations, rooflines etc. to be acceptable.

In addition, the Architectural Manager reserves the right to limit the number of house styles within a streetscape. A maximum of four same style homes will be allowed in a row.

HOUSE COLOURS REPETITION

House siding, stone, brick, trim and aluminium colours shall not be duplicated within 3 lots on the same side of the street (two houses in between duplicate house colours). As there will be a more limited range of colour options available to the last few houses, the Architectural Manager may limit the amount of accent colours on each individual home.



The Architectural Manager reserves the right to approve materials and colours on an individual lot basis. Once submitted each lot is processed on a first come, first served basis.

OVERALL DESIGN REQUIREMENTS

FRONT ENTRIES

The front entry of the home is an integral element of the overall design and is expected to be a focal point of the front elevation. Front entries provide an opportunity to fully express the character of the home and create a welcoming feature. Front entries are to be well enhanced with architectural detailing that encompasses the various styles of Easthaven.

- Front Entry steps are to be a max of 4 risers per set. Where the grade calls for more than 4 risers the runs must be split. Expectations may be granted.
- All front entries are to have either pre-cast concrete steps or wood steps that are to be painted to match the trim colour.

GARAGES AND GARAGE DOORS

Houses that require a front drive garage are to adhere to certain design considerations.

- Front drive garages are to be designed to be a key part of the overall design of the house with regards to style, proportions, detailing, and door type.
- All garage door height will be a maximum of 9'-0". The space above the garage door is to be a maximum of 24" from the top of the door to the underside of the soffit above unless architectural detailing is used. Oversize Garages (24' or wider) require articulation to break up long roof lines.
- To ensure total integration with the overall house design, all garage doors must be painted to match the trim colour or complimentary colour.

The side wall of all garages leading to the main entry, that are longer than 15'0 from the front of the garage to the face of the home or front deck will require additional treatment. (I.e., window, masonry, battens, sidewalk columns, etc.)

LANEWAY PARKING ACCESS

All builders are to provide a gravel parking pad (concrete recommended) that adheres to city bylaws as a minimum in the rear of the lots that do not have front drive garages. This is to be shown on the plot plan and completed at the time of final lot grading, subject to seasonal consideration.

Detached garages are to be constructed with consideration of these Architectural Guidelines, and are to compliment the colour and detailing of the existing home. Garage doors are to be painted to match the siding colour or an acceptable complementary colour (white garage doors are not allowed).

Please note that lanes may not be graded to their final design grades. When constructing parking pads, garage slabs and final grading of the lot, builders are to set the grades according to the approved Building Grade Plan and not to existing site conditions.

OVERALL DESIGN REQUIREMENTS

DRIVEWAYS AND FRONT SIDEWALKS

All front driveways and walkways are to be either broom finished concrete, exposed aggregate, broom finished concrete with paver or coloured concrete border. A double application of one of the concrete treatments listed above is also acceptable. A deep tool joint approximately 1.0m from the edge of the walk, curbs or gutter is also a requirement for maintenance purposes. Driveways must match the garage in width. **For walkways on lots in which the garage is located in the rear, the front walkway must be poured concrete.**

**All garages are to be located as indicated on the Surface Information Plan.*

DECK RAILS

The rail and spindles of rear decks must be wood, vinyl, wrought iron, aluminium or glass panels.

FASCIA, SOFFIT, EAVE AND GUTTER

Prefinished soffit and fascia material will be allowed. Fascia is to be a minimum of 6" in width.

CHIMNEYS, METAL FLUES, ROOF VENTS

Flues are to be boxed in with a capping detail. The flue can extend a maximum of 18" beyond the boxed chase detail. Pre-finished metal flues and roof vents that blend with the roof colour should be used. Valley flashing must match the roof colour.

MASONRY

The masonry on the garage must start a maximum of 4" from the surface of the driveway and 8" from the level of finished grade so that moisture does not wick up the wall and damage the adhesion of the stone.

Colours and profiles will be approved on an individual basis with the emphasis towards traditional home details in both application style and colour choice of the masonry product. Masonry must return a minimum of 2' at all corners.

Additional masonry may be required for some house designs if it is deemed necessary at the sole discretion of the Architectural Manager. Additional area specific requirements may apply and implemented on a phases-by-phases bases.

Architectural Style Masonry Requirements

- Arts and Crafts requires a minimum stone height of 4ft.
- Prairie requires a minimum stone height to the top of the garage.
- Modern and Modern Farmhouse do not require stone to be used but stone will be allowed.

OTHER ARCHITECTURAL ELEMENTS SUCH AS SAGIWALL MAY BE ALLOWED.

BRICK

The brick design on the home must incorporate soldier coursing, row lock-coursing etc. Two-tone brick or a mix of masonry products will be reviewed on a case-by-case basis.

STONE

Stone will be limited to ledgerstone, cobblestone, limestone, fieldstone and castle-stone profiles. River Rock will only be acceptable on appropriate house styles, as discussed in this guide.

ROOFING

Allowable roofing materials in this community will be limited to Asphalt Shingles except Modern Farmhouse designed homes can use seam metal roofing. Approved roofing products and colours for Easthaven are as follows.

GAF	Timberline HD	Weathered Wood, Charcoal, Slate, Pewter Grey, Mission Brown, Barkwood
IKO	Cambridge 30	Weathered Wood, Driftwood, Charcoal Grey, Dual Black,
	Cambridge LT	Weathered Wood, Driftwood, Charcoal Grey, Dual Black
BP	Mystique	Twilight Grey, Shadow Black, Antique Wood, Slate Black

STUCCO

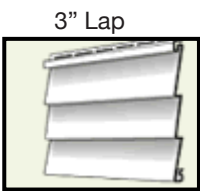
Stucco will only be permitted on Modern elevation as an accent exterior cladding material.

FIBRE CEMENT SIDING

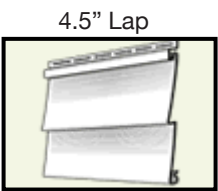
Fibre Cement siding “Hardie Board” is a strongly recommended option for exterior cladding.

VINYL SIDING

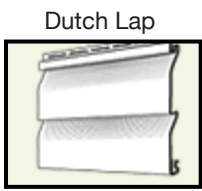
Standard vinyl siding colours in a “Traditional Lap Profile” will be the only acceptable profile. There should be no lap joints on the front or rear of the homes, wherever possible. Dark rich siding colours are strongly encouraged, acceptable colours are listed below.



Acceptable



Acceptable



“Not” Acceptable

UNACCEPTABLE SIDING COLOURS

Royal Building Products	Gentek	Kaykan	Mitten
Vintage Cream	Linen	Almond	Bone
Linen	Sandtone	Autumn Harvest	Ivory
Sand	Maize	Azure Blue	Sandcastle
Blue Gray	Almond	Brick	Saffron
Soft Maple	Pearl	Golden Honey	Nickel
		Heron	
		Ivory	
		Prairie Wheat	
		Prestige Gold	
		Spice	
		Sunshine Yellow	
		Tan	
		Terraverde	

Manufactures may not be limited to this list.

Modern Farmhouse architectural style will be the only style permitted to have white siding colour.

COLUMNS & PILLARS

All columns or pillars are to be a minimum of 6"x 6".

WINDOW AND DOOR TRIM

All door and window trim is required to a minimum of 6" in width.

SIDING CORNER BOARDS

All siding corner boards must match the trim or siding colours

PARGING

Foundation parging is required on all four sides of the house. Maximum parging height is to be 2ft on rear and side elevations and 1ft on the front elevation.

GENERAL INFORMATION

The Builder/Owner is required to keep their lot clean and orderly during construction and dispose of all garbage, construction rubble and excess excavation material. Otherwise, Anthem will have this work completed and will back charge ALL builders equally. There will be no burning of garbage on site. Builders are required to provide bins within each property under construction.

SUBDIVISION HARDWARE

It is the responsibility of the Builder to establish the precise location of any subdivision hardware that may occur on the lots or in a significant proximity to them prior to construction. This includes electrical transformers, telephone pull boxes, fire hydrants, light standards, postal boxes, cable TV boxes, etc. This will ensure that there is no conflict with driveways or other design elements on the lots. The builder is responsible for all costs that may be associated to the relocation of such site furniture. The builder is responsible to contact the developer for general information pertaining to each lot (i.e. Items listed above, size of electrical service (100/200 amp), etc.)

TOPSOIL

Anthem provides screened and/or raw topsoil to all the builders/owners in the subdivision as long as it is available. Anthem is not responsible for the quality of the loam provided. It is the obligation of the BUILDER/OWNER to ensure that all their lots are properly graded and topsoiled. The addition of any topsoil must be consistent with the Lot Grading Bylaw.

In addition to the review and approval requirements of the City of Grande Prairie, **Anthem** has developed an additional design review process so that all buildings will conform to the planning objectives for the development and these design guidelines.

HOMEOWNER LANDSCAPING LOT

The landscaping Deposit shall be \$1,000 collected by the builder. The intent is to ensure landscape compliance. The builder shall ensure the landscaping is completed to the area and municipal requirements. The deposit shall be released upon landscape completion to the requirements.

HOUSE PLAN APPLICATION PROCESS

The following outlines the requirements of Anthem for the completion of the house plan approval process and issuance of the grade slip. Anthem will ensure that all submissions are returned within a 5-day period. All builders must submit the application electronically for approval using the LotWorks. Access to the system will be restricted and only authorized builders and their personnel may use the system. All users will be provided training on how to use the system. The URL, passwords and usernames will be issued by Anthem at the time of training. Please contact Anthem for more details.

The submission using the LotWorks shall include an electronic copy of construction ready house plans (elevations and sections are to be accurate). House plans are to be submitted as one file and the plot plan as a separate individual file in PDF format only. Working drawings must be complete and reflect the requirements of the Architectural Guidelines for the subdivision.

Electronic plot plans are to be drawn at metric scale, and are to include the following information:

- All corner lot grades
- Proposed landscape grades at all corners of the house and garage as well as the sides
- Proposed actual top of footing (ATF) and subfloor elevation(s)
- Drainage patterns of the lot
- Entrance locations of the home
- Driveway and/or parking pad location
- Right-of-ways (ROW) and easement locations
- Location of all surface furniture that exist or are planned (i.e. Lamp standards, bus stops and electrical/cable etc. pedestals)

APPROVAL PROCESS

Building grade plans, legal plans, R.O.W. plans, and sidewalk plans can be obtained from [LotWorks](#). These plans should be used to assist the builder and homeowner in designing an attractive home compatible to the adjacent, existing or proposed environment.

All colours, materials and manufactures to be used during the construction of the house will be submitted using the electronic Application Form within [LotWorks](#). Please note that [LotWorks](#) will not permit partial submissions.

The builder/homeowner is responsible for reviewing the approval granted before applying for a building permit and constructing the home. Notice of approval and the corresponding grade slip will be emailed to the appropriate builder representative.

The builder and/or homeowner shall be responsible for the adherence to and compliance with the building codes, land use bylaws, restrictive covenants, and any such other local, municipal, provincial or federal rules, regulations or guidelines affecting the development of this property. These guidelines do not supersede any of the building codes, land use bylaws, restrictive covenants, and any such other local, municipal, provincial or federal rules. Anthem is to be notified of any discrepancies in the approval.

Upon approval the builder can then make submissions to the City of Grande Prairie for a building permit. Any subsequent changes by the builder (to house plans, colours, siting, etc) previously approved, must be submitted to Anthem, over [LotWorks](#).

Anthem will carry out periodic on-site inspections during construction to ensure compliance with approved plans. Modifications may be requested in writing to accommodate changes related to actual site conditions.

APPENDIX A - TREES

CONIFERS

COMMON NAME	SITE CONSIDERATIONS & SPECIAL CONDITIONS
White Spruce	None
Scot's Pine	None
Siberian Larch	None
Swiss Stone Pine	None
Mountain Pine	None
Jack Pine	None
Lodgepole Pine	None
Limber Pine	Avoid prevailing winds from North or West
Balsam Fir	Avoid prevailing winds from North or West
Upright Juniper	Avoid prevailing winds from North or West
Bur Oak	None
Ohio Buckeye	None
Hot Wings Maple	None
Poplar	None
Trembling Aspen	None
Princess Kay Plum, Brookgold Plum	None
Dropmore Linden, Harvest Gold Linden	Needs adequate water, prefers to be out of wind
Manitoba Maple	None
Swamp Red Birch	None
Schubert Chokecherry	None
Acute Willow	Where space allows and soil is moist/wet
Bebb's Willow	None
Ornamental Crabapple (Rudolph, Gladiator, Makamik, Selkirk, Radiant)	None
Japanese Tree Lilac	None
Elm and Green Ash Japanese Tree Lilac	None
Red Oak	Requires more moisture, avoid prevailing winds from North or West
Amur Maackia	Avoid prevailing winds from North or West
Prairie Horizon Manchurian Alder	Requires more moisture, avoid prevailing winds from North or West
Majestic Skies Northern Pin Oak	Requires more moisture, avoid prevailing winds from North or West

APPENDIX A - TREES

ORNAMENTAL SHRUBS

COMMON NAME	SITE CONSIDERATIONS & SPECIAL CONDITIONS
Dogwood	Moist sites preferred
Globe Caragana	None
Pygmy Caragana	None
Silverberry (Wolf Willow)	None
Mock Orange	Prefers sheltered sites
Ninebark	None
Potentilla	None
Alpine Currant	None
Silver Buffaloberry	None
Spirea	None
Compact American Cranberry	None
Arrowwood Viburnum	None
Highbush Cranberry	None
Lilacs	Non suckering zone tolerant varieties
Roses	None
Nannyberry	None
Wayfaring Tree	None
Snowball Viburnum	None
Barberry	None
Beaked Hazelnut	None
Cotoneaster	None
Broom	None
Shrub Honeysuckle	None
Burning Bush	None
Hydrangeas	Moist sites; can tolerate partial shade
Russian Almond	
Shrub willow	Prefers moist sites
Elder	Prefers moist sites
Sem False Spirea	Prefers moist sites
Russian Cypress	None
Green Penguin Scot pine	None

APPENDIX A - TREES

Dwarf Scot pine	None
Juniper – Spreading / low growing varieties	None
Mugo Pine	None
Ohlendorff spruce	None
Globe cedar	None

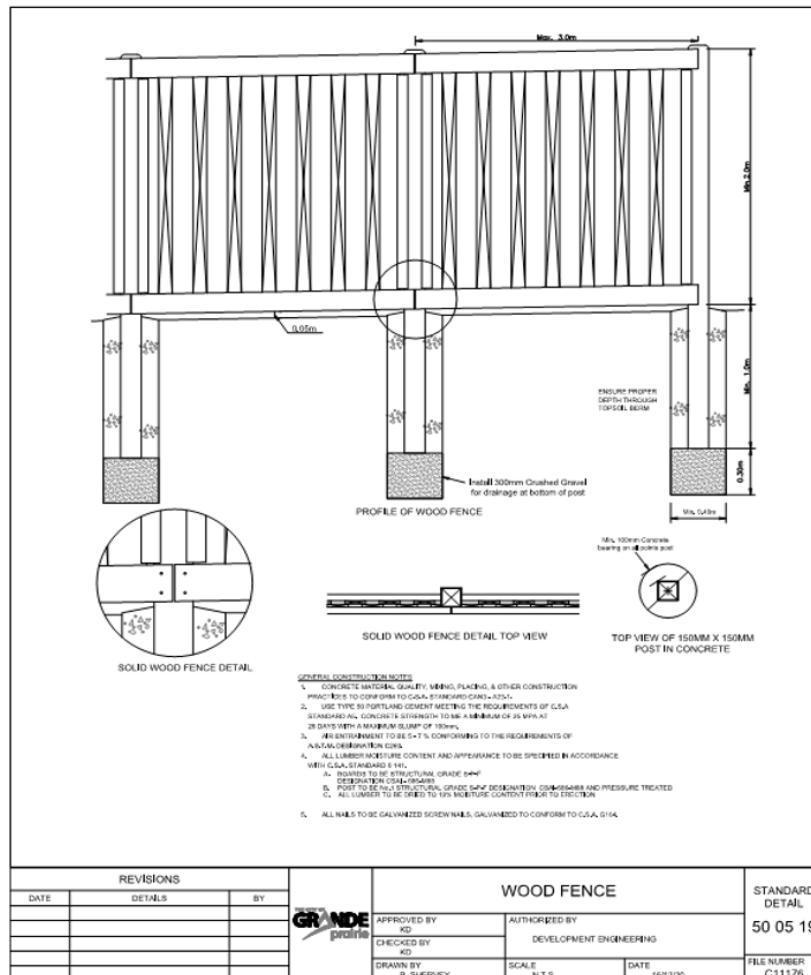
EDIBLE SHRUBS

COMMON NAME	SITE CONSIDERATIONS & SPECIAL CONDITIONS
Saskatoon	None
Aurora Haskap	None
Berry Belle Haskap	None
Berry Blue Haskap	None
Boreal Beast Haskap	None
Boreal Blizzard Haskap	None
Borealis Haskap	None
Cinderella Haskap	None
Honey Bee Haskap	None
Tundra Haskap	None
Carmine Jewel Cherry	None
Crimson Passion Cherry	None
Cupid Cherry	None
Juliette Cherry	None
Nanking Cherry	None
Romeo Cherry	None
Valentine Cherry	None
Raspberry	Requires edging to keep contained
Rhubarb	None
Jostaberry	None
Consort Black Currant	None
Captivator Gooseberry	None
Sea buckthorn	
Valiant Grape	Climbing structure/fence required

APPENDIX B – FENCING DETAILS

Wood screen fences are required to be constructed in accordance to the fencing detail below, all wood screen fencing is to be a “Natural” stain or painted to match spec below.

1. 100mm x 150mm x 3048mm (4”X6”X10’) PRESSURE TREATED S.P.F. POST.
 - COFFEE EX170 FROM CLOVERDALE PAINT
 - WEATHERONE STAINS
2. 25mm x 150mm (1”x6”) ROUGH SAWN SPRUCE FACER BOARD WITH NO GAPS.
 - COFFEE EX170 FROM CLOVERDALE PAINT
 - WEATHERONE STAINS
3. 25mm x 150mm (1”x6”) ROUGH SAWN SPRUCE FENCE BOARDS.
 - BUTTERNUT EX186 FROM CLOVERDALE PAINT
 - WEATHERONE STAINS
4. 350mm DIA. POST HOLE. FILL WITH CONCRETE. CONCRETE MIX TO MUNICIPAL STANDARDS.
5. 50mm x 150mm (2”x6”) PRESSURE TREATED STRINGER.





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